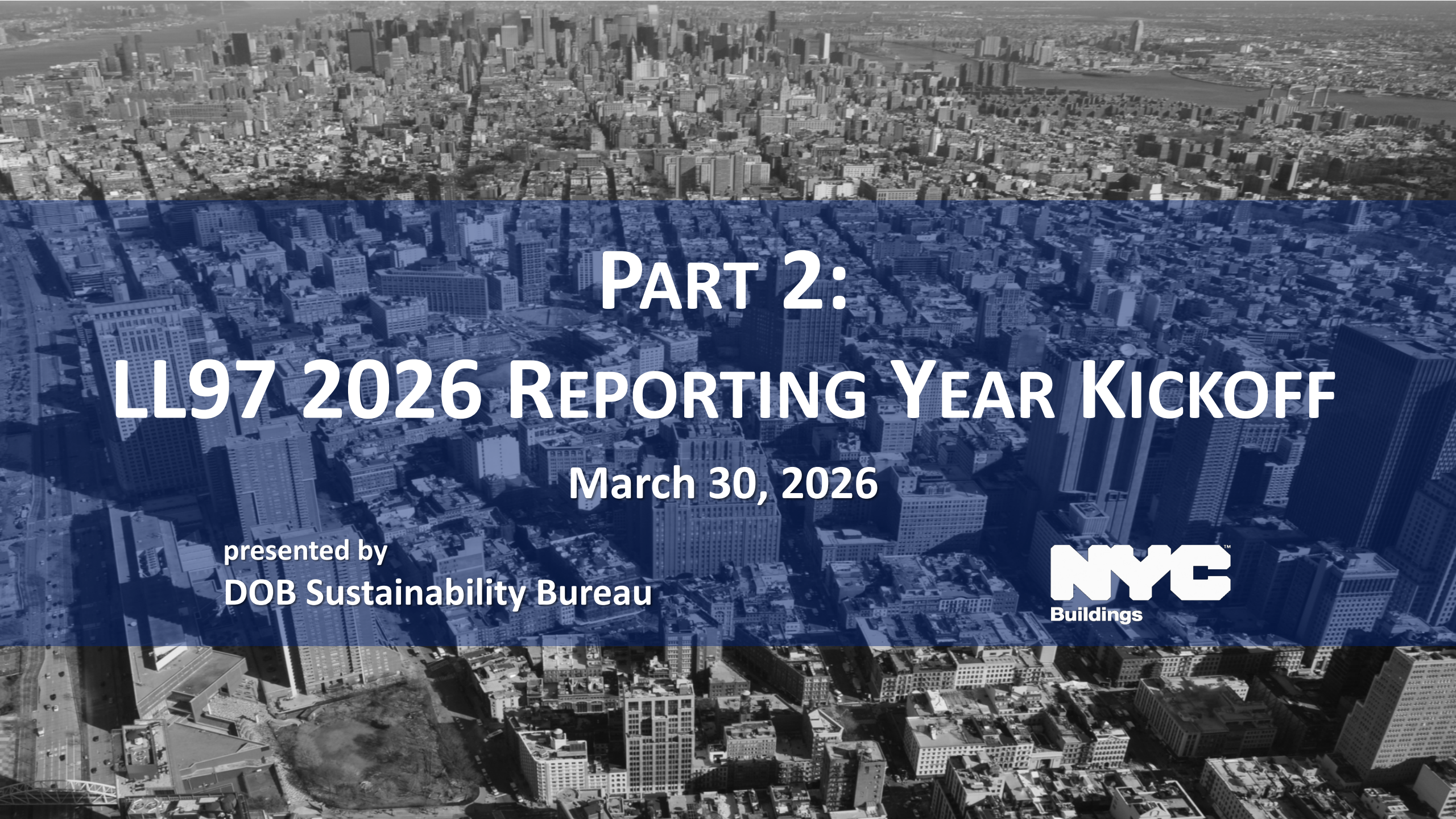




PART 2: LL97 2026 REPORTING YEAR KICKOFF

March 30, 2026

presented by
DOB Sustainability Bureau



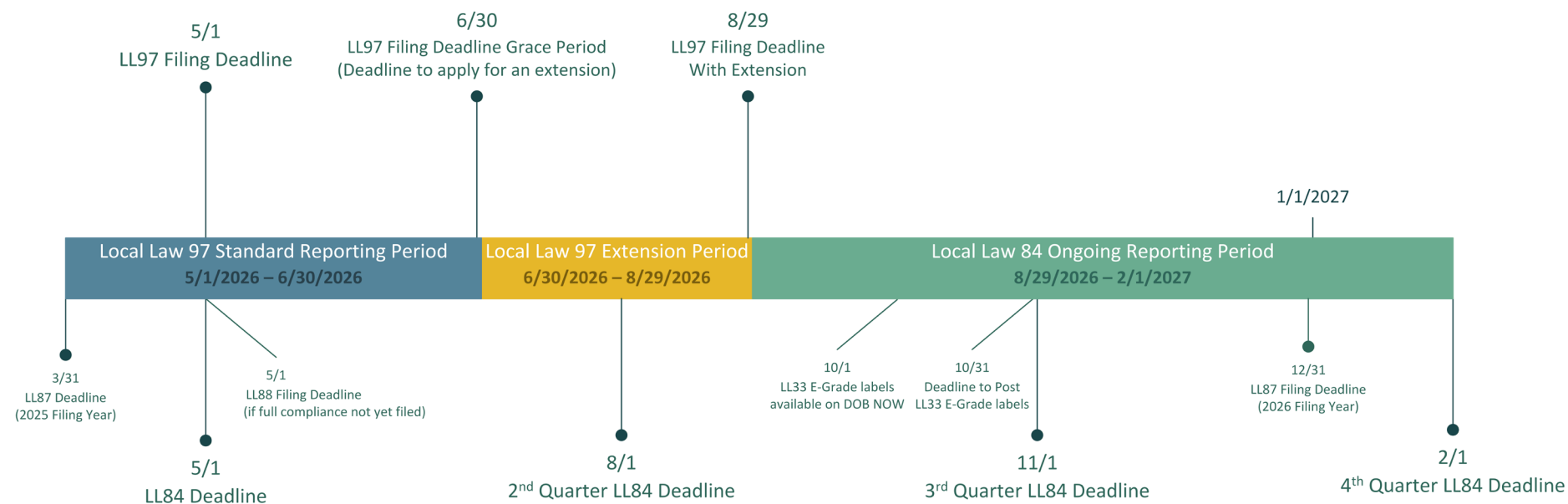
Agenda



- Key 2026 Reporting Deadlines
- Updates to the LL97 & LL88 Reporting Process
- Overview of 2025 LL97 Report Audits
- Recent LL97 BEAM Ticket Updates

Deadlines for Filing Year 2026

For LL97, LL84, LL33, LL87 and LL88



DOB Service Notice - **REMINDER: Deadlines for Sustainability Laws in 2026**

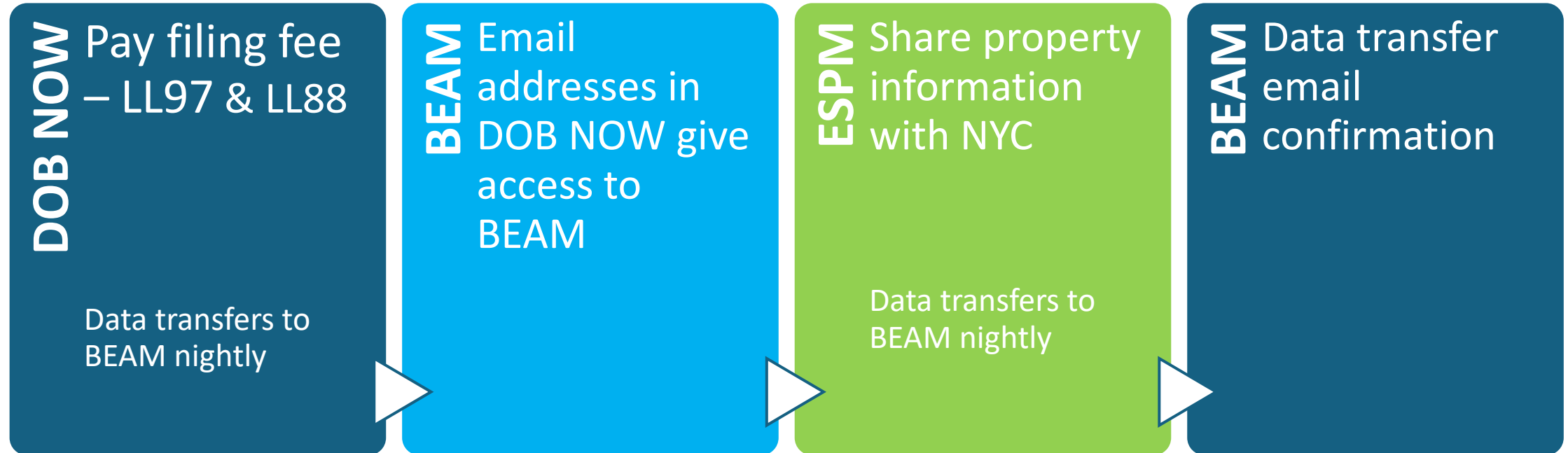
2026 Deadlines are:

- LL84 Report – May 1, 2026
- LL88 Report – May 1, 2026
- LL97 Report or LL97 Extension Request – June 30, 2026

Buildings with LL97 reports due this year may file an extension until June 30, 2026. The new deadlines become:

- LL84 Report – May 1, 2026
- LL88 Report – May 1, 2026
- LL97 Report – August 29, 2026

LL97 Reporting Process – NEW Users

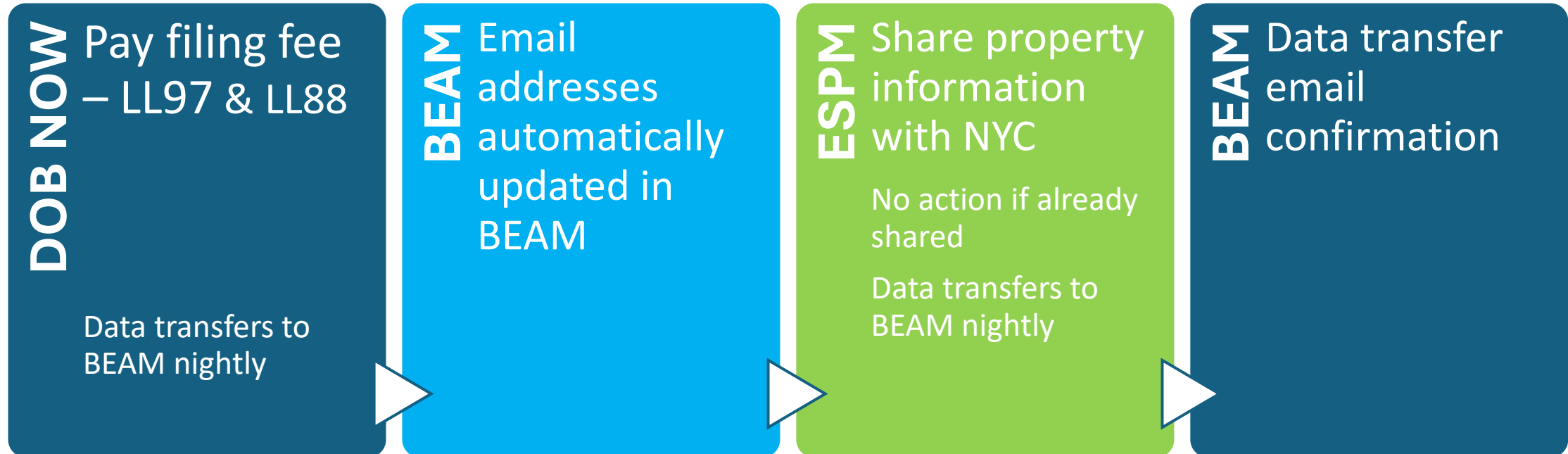


ESPM Property Data Administrator email address MUST be associated with Owner or Owner's Rep

LL97 Reporting Process – Returning Users



BEAM User access will be carried over from the CY2024 cycle



Service Providers may not be listed as the Owner in the DOB NOW Payment Portal. Incorrect owner information will result in **rejection of the submission** and subject the building owner to **penalties for Failure to File**.

2026 LL97 Reporting (CY2025)

- BBL/BIN data is cross-linked between CY2024 and CY2025
 - Newly added buildings will have no data carried over from CY2024 to CY2025
 - Where BBLs/BINs change, DOB will work with you to cross-link CY2024 and CY2025 data
- Key data fields from CY2024 have been carried over to CY2025, including:
 - User access
 - Gross Floor Area (GFA) per property type, if previously entered in Ticket #4 or #5 (2030 emissions limits)
 - LL88 compliance status
 - Adjusted emissions limits from 320.7 (external constraints), 320.8, 320.9
 - Fee Exempt Status

The screenshot shows a web interface for the BEAM system. A dropdown menu is open for the 'Cycle' field, which currently displays '2025 Calendar Year'. The dropdown menu is titled 'Regular Cycles' and lists two options: '2025 Calendar Year' (highlighted in dark grey) and '2024 Calendar Year'. To the left of the dropdown, the text 'Filt' and 'Cur' are partially visible. To the right, the text 'Pro' is visible.

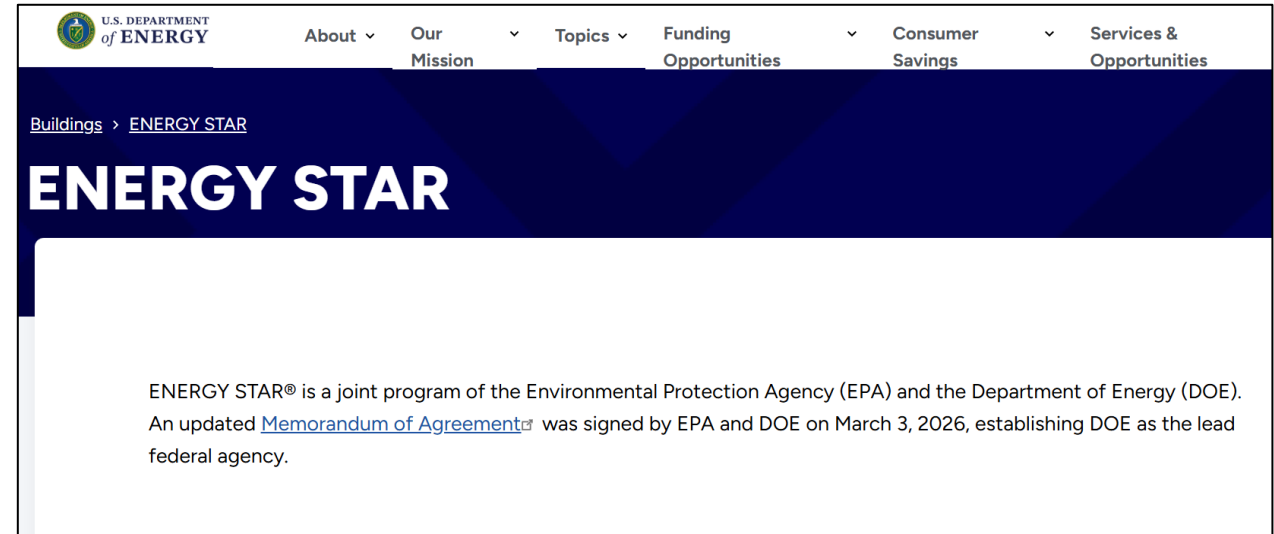
- Users with prior-year access will retain initial access to their portfolio this year
- DOB NOW emails will carry over into BEAM – ensure the owner, owner's rep and service provider are still entered correctly in DOB NOW
 - Updating email fields will overwrite existing contact
 - Leaving a field blank will remove existing contact
- Newly covered BBLs/BINs must first be accessed in DOB NOW, then through Ticket #14.
- Utilize [Ticket 14. 2026 - BEAM Account Update Users](#) to update contact information in BEAM
 - Updating email fields will overwrite existing contact
 - Leaving a field blank will remove existing contact

Energy Star Portfolio Manager Updates



Major Updates:

- ESPM has been funded for 2026.
- Oversight & Management will be transferred to U.S. Department of Energy (DOE)
- No disruption in operations expected this year



<https://www.energy.gov/cmei/buildings/energy-star>

ESPM Data Updates

- ESPM data transfer into BEAM began evening of March 27, 2026.
 - Approximately 33,000 ESPM connections continued to be shared in BEAM
 - City email accounts (including BEAM_LL97@buildings.nyc.gov) are capped at 10,000 outgoing emails per day
 - Confirmation emails for LL84 will be staged throughout month of April
- ESPM ID is required on LL97 Ticket submission
 - Duplicate ESPM IDs must be resolved prior to LL97 filing
- Ensure ESPM data in BEAM is accurate prior to submitting LL97 filing
- Submitting Ticket #4, #5 or #15 will STOP the ESPM data transfer into BEAM

Major Updates:

- Addition of a Calendar Year dropdown
 - Select CY2025 for 2026 Reporting
- Owner Profiles are required to submit any filing fee in [DOB NOW](#).
 - Building Owner information MUST match the owner of record in DOF (or HPD for condos and co-ops)
 - Service Providers listed as Owner in DOB NOW Payment Portal will be rejected and Owner may face penalties
- Local Law 88 filing fees (\$115) are required.
 - One payment covers both lighting and submetering submissions; and for combined reports, only one fee is required.
- 2026 (CY2025) DOB NOW data transfer has begun as of March 27, 2026.



BEAM Updates

- Updated Professional Attestation Forms – Require valid DOF/HPD Owner Info
- Updated Template for Deductions and Alternatives
 - Updated Time-of-Use (TOU) and Total Emission Spread (TES) based on CY 2025 data
- RECs available late 2026 for 2027 Reporting Year

Update to BEAM Attestation Forms

Building Owner information must match the owner of record in DOF or HPD (for condos and co-ops)

- New attestation forms available on DOB's website
- Authorized representatives may complete and sign the form, but the owner information must reflect the official owner of record as described above
- Audits will not be closed if owner information is incorrect
- Unresolved attestations may result in failure-to-file penalties

NYC Buildings LOCAL LAW 97 of 2019:
Professional Attestation Form for Article 320
Form must be typewritten.

PURPOSE: The Registered Design Professional must complete this form to verify documentation filed in compliance with Article 320 of Chapter 3 of Title 28 of the NYC Administrative Code (LL97).

1. Verifying Professional - Registered Design Professional

Name of Verifying Professional: _____

Business Name: _____ Business Phone: _____

Business Address: _____ Email Address: _____

License Type (Choose one from below) License Number: _____

☐ Professional Engineer ☐ Registered Architect

2. Attestation of Building Owner

Legal Name of Building Owner (as listed in NYC Department of Finance records or in NYC Department of Housing Preservation and Development for co-ops and condos): _____

Building Owner Address: _____

Building Owner Email: _____ Building Owner Phone: _____

Building Owner Attestation
I certify that I am the owner of record for the referenced building(s) or a duly authorized officer or similar representative of the owner, and I have authorized the duly licensed professional herein to verify information relating to my building(s) submitted pursuant to Article 320 of Chapter 3 of Title 28 of the NYC Administrative Code (LL97). I certify that the contents of the submissions for my building(s) are true and accurate. Falsification of any material statement is a misdemeanor punishable by a fine or imprisonment, or both.

Signature: _____ Date: _____

Name of Authorized Signatory: _____ Relationship to Owner: _____

Authorized Signatory Email: _____ Authorized Signatory Phone: _____

3. Attestation of Verifying Professional

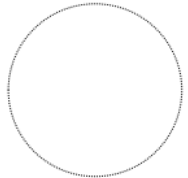
I have reviewed all information submitted in documentation related to the compliance of this building owner's building(s) with Article 320 of Chapter 3 of Title 28 of the NYC Administrative Code (LL97), and under penalties provided by law, attest to its accuracy. Falsification of any material statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to any City employee, or for a City employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by a fine or imprisonment or both. I understand that if I am found after due hearing to have knowingly or negligently made a material false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of the Building Code or of a rule of any agency, I may be barred from filing further applications or documents with the NYC Department of Buildings.

Name (please print): _____

Signature: _____ Date: _____

Print name, sign, date, and apply seal.

nyc.gov/buildings
Rev. 3/17/2026



Audit Review Process: Overview of 2025 LL97 Reports (CY 2024)

How We Communicate Audit Status on BEAM Inventory

View by Property										View by Tax Lot										View by Portfolio									
+ ✓ ▴ ▾ ▸ ▹										Labels																			
+ ✓ 🔗 60 ⓘ 5																													
+ ✓ 🔗 92 ⓘ 5										Audit - Incomplete Initial Report																			
+ ✓ 🔗 122 ⓘ										Audit Commented																			
+ ✓ 🔗 54 ⓘ 1										Audit Complete																			
+ ✓ 🔗 59 ⓘ 5										Audit Complete - Pending Attestation Review																			
+ ✓ 🔗 50 ⓘ										Audit Complete - Pending CP Review																			
+ ✓ 🔗 75 ⓘ										Audit Complete - Pending Fee Exempt Review																			
+ ✓ 🔗 73 ⓘ																													

Audit Complete

Audit steps completed – **No Further Action**

Audit Complete - Pending Attestation Review

Review of the Attestation form remaining in the audit – **Waiting on DOB action**

Audit Complete - Pending CP Review

Compliance Pathway confirmation remaining in the audit - **Waiting on DOB action**

Audit Complete - Pending Fee Exempt Review

Fee Exempt status verification remaining in the audit – **Waiting on DOB action**

How We Communicate Audit Status on BEAM Inventory

View by Property										View by Tax Lot										View by Portfolio									
+ ✓ ▴ ▾ ▸ ▹										Labels																			
+ ✓ 🔗 60 ⓘ 5																													
+ ✓ 🔗 92 ⓘ 5										Audit - Incomplete Initial Report																			
+ ✓ 🔗 122 ⓘ										Audit Commented																			
+ ✓ 🔗 54 ⓘ 1										Audit Complete																			
+ ✓ 🔗 59 ⓘ 5										Audit Complete - Pending Attestation Review																			
+ ✓ 🔗 50 ⓘ										Audit Complete - Pending CP Review																			
+ ✓ 🔗 75 ⓘ										Audit Complete - Pending Fee Exempt Review																			
+ ✓ 🔗 73 ⓘ																													

Audit - Incomplete Initial Report

Awaiting Applicant Response –
14 day turnaround

Initial Report Incomplete

- GFA information indicated incomplete
- Compliance Pathway check
- Duplicate PMID check
- Duplicate Ticket check
- Ticket/ESPM Setup Consistency check

How We Communicate Audit Status on BEAM Inventory



View by Property					View by Tax Lot					View by Portfolio				
+	✓				+	✓				+	✓			
+	✓	60	i	5	+	✓	92	i	5	+	✓	122	i	1
+	✓	54	i	5	+	✓	59	i	5	+	✓	50	i	5
+	✓	75	i	5	+	✓	73	i	5	+	✓	73	i	5

Audit Commented

Awaiting Applicant Response - 14 day turnaround

Property's Building Data Correct in ESPM

- Incorrect Number of Buildings
- Did not Report Whole Building Energy Data
- Incorrect Number of Meters
- Incorrect Site EUI
- Ineligible Property Type – LL97
- More in label forms on BEAM Tax Lot view for campuses

Property's Energy Use Data Correct in ESPM

- Electricity usage
- Natural Gas usage
- All other fuel usage

Gross Floor Area Verification

- GFA from ESPM
- GFA modified through BEAM report ticket entry
- GFA in comparison with GSF

Payment Verification

- Simple or Complex report fee
- Extension request filing fee
- Fee exempt eligible

Associated Ticket Check

- Ticket #6 for Deductions, Alternative Calculations
- Ticket #6a for Deductions, Alternative Calculations
- Ticket #7 for Emissions Allocation
- Ticket #10 for §320.7 Adjustment
- Ticket #16 for §320.8 or §320.9 Adjustment

Emissions & Limits Verification

- Emissions based on energy use data from ESPM, + Modified by deductions, alternative calculations, allocations, proration/aggregation/disaggregation
- Emissions Limits based on building property types and GFA, + Modified by various adjustment applications

Audit Comments through BEAM Helpdesk

nyc- [Redacted] [Replied]

Queue: NYC

Form: 04. LL97 Building Emissions Limit & RDP Attestation (Article 320)



Dear building owner/owner rep/service provider,

You are receiving this correspondence in response to the ticket 04. LL97 Compliance Report (Article 320) [nyc- [Redacted]] you have submitted for the property of BBL: [Redacted] - BIN: [Redacted].

Upon review of the submission in BEAM, your report **requires additional action/documentation**.

Please note our review comments below and address accordingly.

320.1	Correct ESPM data to resolve the label(s) alerted on the building in BEAM, or provide explanation.
	Resolve the "Incorrect Number of Meters" label in BEAM inventory by correcting data in ESPM, or provide reason why it cannot be addressed. Please contact Sustainability Help Center by email Help@NYCsustainability.org , or phone (212) 566-5584 if you need assistance correcting these issues.
	Resolve the "Did Not Report Whole Building Energy Data" label in BEAM inventory by correcting data in ESPM, or provide reason why it cannot be addressed. Please contact Sustainability Help Center by email Help@NYCsustainability.org , or phone (212) 566-5584 if you need assistance correcting these issues.

320.2	Correct the building's fuel use data in ESPM, or provide explanation.
	The property shows all-electricity fuel use data, and neither fossil-fuel nor district steam use has been reported. Provide all fossil fuel and/or district steam use data in ESPM, or attest that the building is all-electric.

320.3	Correct the building's GFA data, or provide evidence of the GFA calculations.
	The reported Gross Floor Area (GFA) is identical to DOF's Gross Square Feet (GSF), which is normally smaller than GFA. Provide supporting documents for the GFA calculations.

You have **14 calendar days to respond** to this email from the date sent. Note that failure to respond may prompt further enforcement action. If you have any questions, please respond to this email.

Thank you for your cooperation and for continuing to work with us to achieve compliance with LL97.

Building Energy and Emissions Audits

NYC Department of Buildings | Bureau of Sustainability

280 Broadway – 3rd Floor | New York, NY 10007

BEAM_LL97@buildings.nyc.gov

nyc.gov/LL97

Data Quality Labels on BEAM Inventory

View by Property										View by Tax Lot	View by Portfolio
										Labels	
+	✓	🔗	💬	ℹ️	📊					Audit Commented	Did not Report Whole Building Energy Data
+	✓	🔗	💬	ℹ️	📊					Audit Commented	Ineligible Property Type - LL97
+	✓	🔗	💬	ℹ️	📊					Audit Commented	Incorrect Number of Meters Duplicate PMID

On View by Property

- Incorrect Number of Buildings
- Did not Report Whole Building Energy Data
- Incorrect Number of Meters
- Incorrect Site EUI
- Ineligible Property Type – LL97

https://www.nyc.gov/assets/buildings/pdf/standalone_labels.pdf

View by Property										View by Tax Lot	View by Portfolio
										Labels	
+	✓	🔗	💬	ℹ️	📊					Campus - Property Type GFAs are not Aggregated	Campus - Energy
+	✓	🔗	💬	ℹ️	📊					Campus - Incorrect Site EUI	Campus - Number of Buildings not Aggregated
+	✓	🔗	💬	ℹ️	📊					Campus - Number of Buildings not Aggregated	
+	✓	🔗	💬	ℹ️	📊					Campus - Number of Buildings not Aggregated	Campus - Property
+	✓	🔗	💬	ℹ️	📊					Campus - Active Meters Excluded	Campus - Number of Building
+	✓	🔗	💬	ℹ️	📊					Campus - Number of Buildings not Aggregated	Duplicate PMID

On View by Tax Lot

- Campus - Child Not Connected to BEAM
- Child - Parent Not Connected to BEAM
- Campus - Active Meters Excluded
- Child - Active Meters Excluded
- Campus - Number of Buildings not Aggregated
- Child - Incorrect Number of Buildings
- Campus - Active Meters are not Aggregated
- Campus - Energy Use is not Aggregated
- Campus - Incorrect Site EUI
- Campus - Property Type GFAs are not Aggregated

https://www.nyc.gov/assets/buildings/pdf/ll84_data_labels.pdf

Compliance Status Labels on BEAM Inventory



View by Property		View by Tax Lot		View by Portfolio					
								Labels	
								Audit Complete	Exceeds Limit
								Audit Complete	PECM Incomplete

Compliance Status

- **Exceeds Limit**
Article 320 or Article 321 Performance pathway buildings reported with excess emissions
- **PECM Incomplete**
Article 321 Prescriptive pathway buildings reported with incomplete PECM implementation

BEAM Inventory – Filter by Label

Cycle: 2024 Calendar Year

Profile: Building Owner View

Check: LL97/LL88 Reports Check

Action

Filter Group: -- No filter --

Current Sorts: (from table below)

Current Filters: (from table below)

Must Include: Audit Commented X Add a label

Include Any: Add a label

Exclude: Add a label

View by Property

View by Tax Lot

View by Portfolio

								Labels
+	✓							
+	✓		63	i	1			Audit Commented Incorrect Number of Buildings
+	✓		45	i				Audit Commented Duplicate PMID Exceeds Limit
+	✓		91	i				Audit Commented Incorrect Number of Meters Ineligible Property Type - LL84 Ineligible Property Type - LL97
+	✓		60	i				Audit Commented
+	✓		51	i				Audit Commented Did not Report Whole Building Energy Data Ineligible Property Type - LL97
+	✓		65	i	5			Audit Commented Incorrect Number of Meters
+	✓		56	i				Audit Commented
+	✓		> 999	i	6			Audit Commented Did not Report Whole Building Energy Data Duplicate PMID Resolved

LL97 Reporting Process for 2026 (CY2025): Updates to BEAM Tickets

All Tickets - Field Pre-population Update

- BBL, Property Name, and ESPM ID will auto-populate based on inputted BIN.
 - You are attesting to the ESPM Property ID input in this report.
- If you see a ESPM ID that is not your own, this indicates a Duplicate PMID. Often this label will be applied.
 - Email BEAM_LL97@buildings.nyc.gov

View by Property View by Tax Lot View by Portfolio									
Labels									
BIN BBL (Tax Lot)									
Duplicate PMID									
1022694 1010010055									
Duplicate PMID									
1022637 1009980018									
Duplicate PMID									
1038674 1013367501									
Duplicate PMID									
1022563 1009930011									

Submitter Email*

submitter@email.com

This e-mail address will receive copies of all public updates to this ticket.

Enter Building Identification Number (BIN)*

1234567

Prepopulate

[Enter BIN as it appears on LL97 CBL](#)

BINs must be 7 numerical digits (i.e. 1234567) There should be no dashes, spaces, or other characters within the digits.

Once you've entered your BIN, select "prepopulate" to view your building's Borough-Block-Lot (BBL), ESPM property ID, and ESPM property name.

Borough-Block-Lot (BBL)*

1234567891

ESPM Property ID*

1234567

ESPM Property Name*

Big Building

Ticket #3 - Extension Request Updates



Extension Requests (Optional - Yearly Submission)

- DOB NOW - Extension Request Payment (\$60)
- BEAM - [03. 2026 LL97 Extension Request](#)
 - Deadline to Submit is June 30th
 - Extends your Local Law 97 Deadline to August 29th

Report Updates:

- BBL will auto-populate based on inputted BIN.
- The extension only applies to LL97 compliance.
- Reason for your extension has been removed.
- No attestation is required.
- Bulk Extensions will not be accepted in 2026

Enter any Building Identification Numbers (BINs) associated with this filing*

1234567 [Prepopulate](#)

[Enter BIN as it appears on LL97 CBL.](#)
BINs must be 7 numerical digits (i.e. 1234567) There should be no dashes, spaces, or other characters within the digits.
Once you've entered your BIN, select "prepopulate" to view your building's Borough-Block-Lot (BBL), ESPM property ID, and ESPM property name.

Borough-Block-Lot (BBL)*

1234567891

Enter DOB NOW Payment Confirmation Number.*

97320EXTxxxxxxx

This is a required field. [DOB NOW User Guide.](#)
(i.e. 97320EXTxxxxxx)

Article 320 Compliance Pathway (Yearly Submission)

- Check the [2026 Covered Buildings List](#) to verify your data and submit a CBL Dispute, if necessary.
 - See [3/27/2026 DOB Webinar Series: Navigating the 2026 CBL for LL97](#).
- DOB NOW: Compliance Report Payment
- ESPM Connection for Calendar Year 2025 Data
 - If an owner unshared, you must [reshare](#) with the city (NYCGOVLL84).
- BEAM: [04. 2026 LL97 Building Emissions Limit & RDP Attestation \(Article 320\)](#) report.

04. LL97 Building Emissions Limit & RDP Attestation (Article 320)

[Edit](#)

This ticket pertains to an individual building with a single Building Identification Number (BIN) reporting compliance with the annual GHG emissions limit pursuant to [Article 320](#) of LL97.

A complete "2026 - 04. LL97 Building Emissions Limit & RDP Attestation (Article 320)" ticket must include all of the following:

1. Building Identification Number (BIN), Borough-Block-Lot (BBL) (prepopulate), ESPM property ID (prepopulate), and ESPM property name (prepopulate).
2. Selection of building [emission limit methodology](#).
3. Previous compliance status and decarbonization method(s).
4. Data source of the building's 2025 Gross Floor Area (GFA)
 - 2024 calendar year (CY) reported Gross Floor Area (GFA) previously updated via ticket #4 or,
 - ENERGY STAR Portfolio Manager (ESPM) 2025 calendar year (CY) data or,
 - Gross Floor Area (GFA) modifications as entered in this ticket.
5. Confirmation of [Registered Design Professional \(RDP\)](#) attestation and upload of attestation documentation.
6. [DOB NOW](#) Payment Confirmation Number (i.e. 97320Sxxxxxx or 97320Cxxxxxx).

Ticket #4 - LL97 Compliance Report (Article 320) for Individual Buildings Updates



Report Updates:

- BBL, ESPM ID and ESPM property name will auto-populate based on inputted BIN.
 - You are attesting to the CY25 data tied to the ESPM Property ID entered into this report.
- Compliance status compared to last year is required.
 - Law requires documentation on methods used to come into compliance.
- Allows for the inclusion of CY24 Gross Floor Area (GFA) data, if previously input in Ticket #4.

Indicate the data source of the building's 2025 Gross Floor Area (GFA). Please select one:*

ESPM (2025 CY data) - with no modifications
2024 CY reported GFA previously updated via ticket #4
GFA modifications as entered in this ticket

Was the building out of compliance in the previous reporting year but is now in compliance?*

Yes

Select the decarbonization method(s) used to achieve compliance.

Lighting upgrades*

Heating system upgrades*

Cooling system upgrades*

Envelope improvements*

Building Management System (BMS) upgrades*

Other, please specify below*

Describe the specific upgrades implemented.*

Scenarios:

- Filed a noncompliant Article 321 report in calendar year (CY) 2025 and are now demonstrating full compliance; or
- Are filing an Article 321 report for the first time.

Article 321 (Performance Pathway)

- Check the [2026 Covered Buildings List](#) to verify your data and submit a CBL Dispute, if necessary.
 - See [3/27/2026 DOB Webinar Series: Navigating the 2026 CBL for LL97](#)
- DOB NOW – Compliance Report Payment
- ESPM Connection for Calendar Year 2025 Data
 - If an owner unshared you must [reshare](#) with the city (NYCGOVLL84).

Article 321 (PECM)

- Check the [2026 Covered Buildings List](#) to verify your data and submit a CBL Dispute, if necessary.
 - See [3/27/2026 DOB Webinar Series: Navigating the 2026 CBL for LL97](#)
- DOB NOW – Compliance Report Payment
- Completion of all PECM measures.

Report Updates:

- BBL, ESPM ID and ESPM property name will auto-populate based on inputted BIN.
 - If pursuing the 2030 emissions limit option, you are attesting to the CY25 data tied to the ESPM Property ID entered into this report.
- Allows for the inclusion of CY24 Gross Floor Area (GFA) data only if it was previously entered in Ticket #5.

Indicate the data source of the building's 2025 Gross Floor Area (GFA). Please select one:*

ESPM (2025 CY data) - with no modifications

2024 CY reported GFA previously updated via ticket #4

GFA modifications as entered in this ticket

Ticket #6-LL97 Deductions and Alternatives to Calculating Annual Building Emissions

Deductions (Yearly Resubmission)

- BEAM - First, you must submit a [04. 2026 LL97 Building Emissions Limit & RDP Attestation \(Article 320\)](#) or [05. 2026 LL97 Compliance Report \(Article 321\)](#) report.
- BEAM - [06. 2026 - LL97 Deductions and Alternatives to Calculating Annual Building Emissions](#) report (Standalone Properties).

Report Updates:

- BBL, ESPM ID and ESPM property name will auto-populate based on inputted BIN.
 - You are attesting to the CY25 data tied to the ESPM Property ID entered into this report.
- Addition of beneficial electrification banking questions.
- Deductions Template has been updated with CY 2025 Time of use (TOU) and Total Emissions Spread (TES) coefficient data.

Would you like to apply this deduction to your Calendar Year 2025 emissions?*

Yes

Would you like to bank this deduction for future reporting years?*

Yes

Would you like to apply a previously banked deduction from beneficial electrification to your Calendar Year 2025 emissions?*

Yes

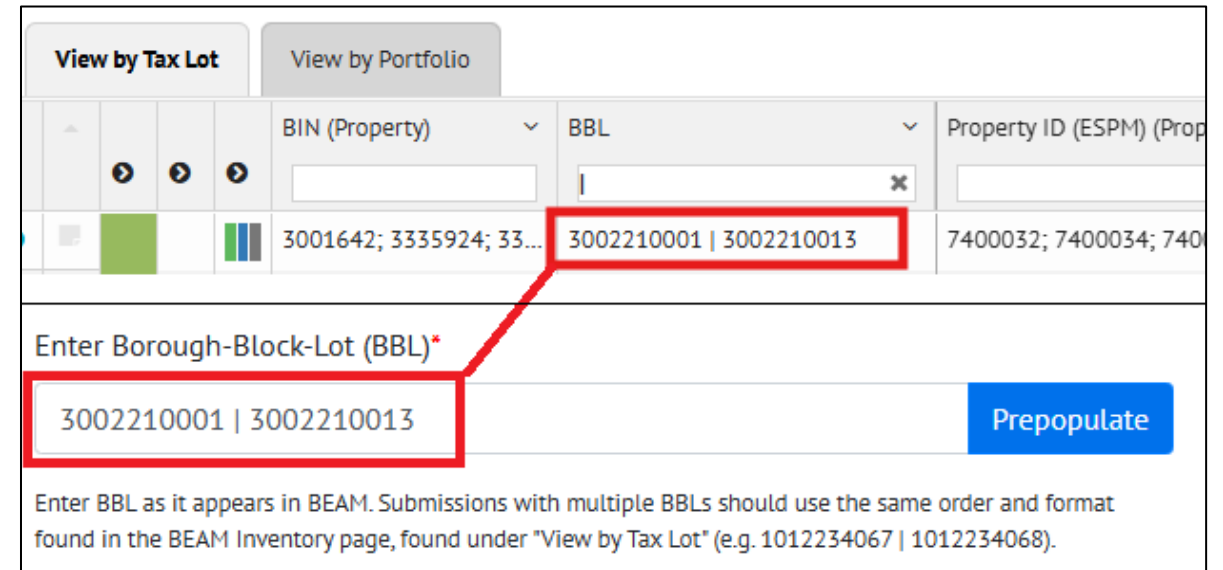
Please enter the banked deduction you'd like to apply to CY25 emissions in tCO2e:*

Deductions (Yearly Resubmission)

- BEAM - First, you must submit a [15. 2026 Aggregate Emissions and Emissions Limit Attestation](#) report.
- BEAM - [06a. 2026 LL97 Aggregate Deductions and Alternatives to Calculating Annual Building Emissions](#) (Campus) report.

Report Updates:

- BBL pairing is based on entire BBL string on your Campus profile.
- ESPM Parent ID and ESPM Parent Property Name will auto-populate based on inputted BBL.
 - You are attesting to the campus-wide CY25 data tied to the ESPM Parent Property ID entered into this report.
- Deductions Template has been updated with CY 2025 Time of use (TOU) and Total Emissions Spread (TES) coefficient data.



View by Tax Lot	View by Portfolio	BIN (Property)	BBL	Property ID (ESPM) (Prop
		3001642; 3335924; 33...	3002210001 3002210013	7400032; 7400034; 740...

Enter Borough-Block-Lot (BBL)*

3002210001 | 3002210013

Prepopulate

Enter BBL as it appears in BEAM. Submissions with multiple BBLs should use the same order and format found in the BEAM Inventory page, found under "View by Tax Lot" (e.g. 1012234067 | 1012234068).

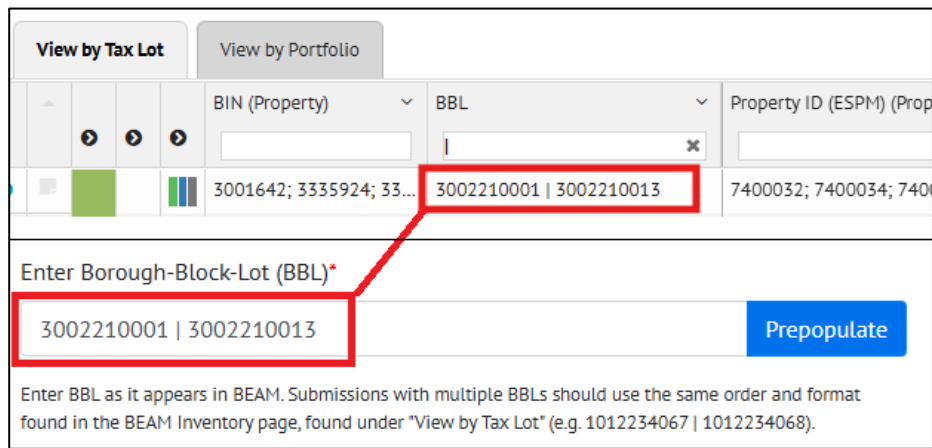
Ticket #7 – LL97 Emissions Allocation by BIN

Emissions Allocation by BIN

- BEAM - First, you must submit a [15. 2026 Aggregate Emissions and Emissions Limit Attestation](#) report.
- Submit a [07. 2026 LL97 Emissions Allocation by BIN](#) report.

Report Updates:

- BBL pairing is based on entire BBL string on your Campus profile.



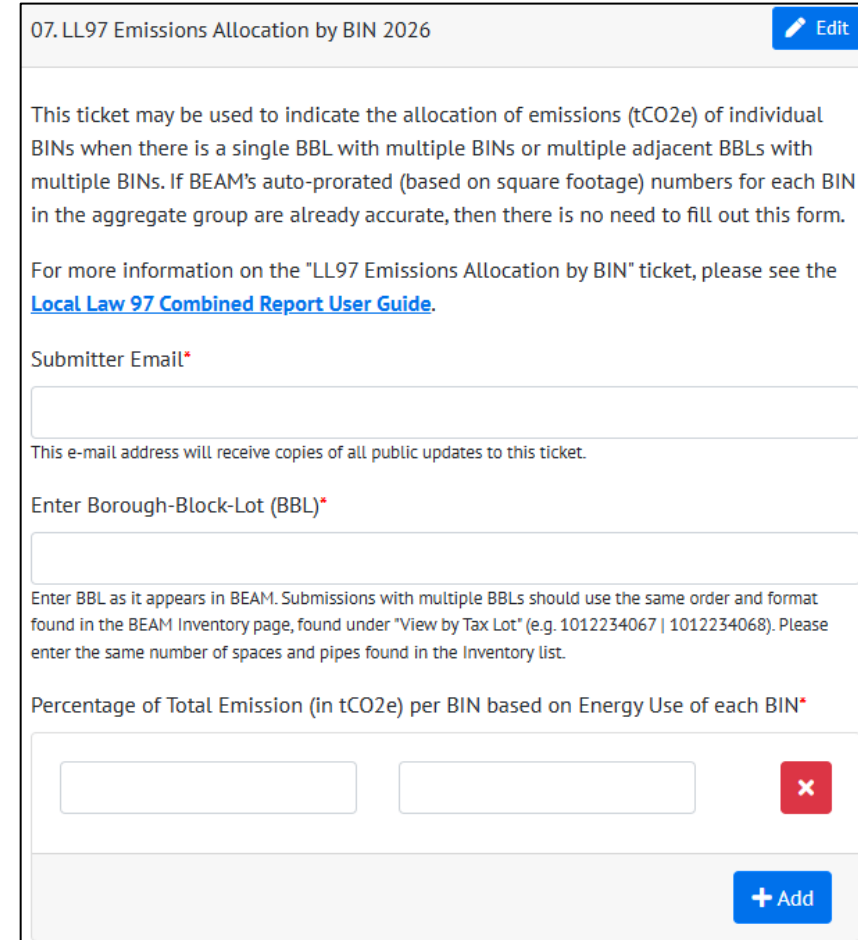
View by Tax Lot	View by Portfolio	
BIN (Property)	BBL	Property ID (ESPM) (Prop
3001642; 3335924; 33...	3002210001 3002210013	7400032; 7400034; 740...

Enter Borough-Block-Lot (BBL)*

3002210001 | 3002210013

Prepopulate

Enter BBL as it appears in BEAM. Submissions with multiple BBLs should use the same order and format found in the BEAM Inventory page, found under "View by Tax Lot" (e.g. 1012234067 | 1012234068).



07. LL97 Emissions Allocation by BIN 2026 [Edit](#)

This ticket may be used to indicate the allocation of emissions (tCO₂e) of individual BINs when there is a single BBL with multiple BINs or multiple adjacent BBLs with multiple BINs. If BEAM's auto-prorated (based on square footage) numbers for each BIN in the aggregate group are already accurate, then there is no need to fill out this form.

For more information on the "LL97 Emissions Allocation by BIN" ticket, please see the [Local Law 97 Combined Report User Guide](#).

Submitter Email*

This e-mail address will receive copies of all public updates to this ticket.

Enter Borough-Block-Lot (BBL)*

Enter BBL as it appears in BEAM. Submissions with multiple BBLs should use the same order and format found in the BEAM Inventory page, found under "View by Tax Lot" (e.g. 1012234067 | 1012234068). Please enter the same number of spaces and pipes found in the Inventory list.

Percentage of Total Emission (in tCO₂e) per BIN based on Energy Use of each BIN*

Ticket #8 and #9 - LL97 Penalty Mitigation (Article 320/321)

Penalty Mitigation

- If you submitted Ticket 8 or 9 in 2025, you do not need to submit the ticket again in 2026.
- If you did not submit in 2025, and you are requesting penalty mitigation in 2026, you must submit a [08. 2026 LL97 Penalty Mitigation \(Article 320\)](#) report or a [09. 2026 LL97 Penalty Mitigation \(Article 321\)](#) report.

Report Updates

- Edits to Good Faith Efforts Options
 - Decarbonization plans are no longer allowed.
 - Addition of previously submitted annual building emissions report that demonstrated compliance
- BBL, ESPM ID and ESPM Property Name will auto-populate based on inputted BIN.
 - You are attesting to the CY25 data tied to the ESPM Property ID entered into this report.

Please select one of the following plans to demonstrate good faith efforts have been made.

Previously submitted annual building emissions report (2024) that demonstrated ▼

Previously submitted annual building emissions report (2024) that demonstrated compliance

Demonstrate that work is underway

Waiting on utility for more power

Building is a critical facility

§320.7 Adjustment

- Submit a [10. 2026 LL97 Application for §320.7 Adjustment \(Article 320 and Article 321\)](#) report.
- Financial Constraints: must be resubmitted every year.
- External Constraints: lasts for 3 years.
 - If you submitted for external constraints in 2025, you do not need to refile Ticket #10 until 2028.
 - Offsets (10% of unadjusted limit) must be purchased annually for adjustment to apply.

Report Updates

- BBL, ESPM ID, and ESPM Property Name will auto-populate based on inputted BIN.
 - You are attesting to the CY25 data tied to the ESPM Property ID entered into this report.
- If applying for External constraints the decarb plan requires more robust requirements compared to CY24.
 - [NYC Accelerator 320.7 Adjustment Guide](#)

[Ticket #11 - LL88 Lighting \(Article 310\)](#) and [Ticket #12 - LL88 Sub-Metering \(Article 311\)](#)

- Only submit if you are fully compliant with the requirements of either Article 310 or 311 of Local Law 88.
- **Do not complete these tickets if only partially compliant.**

Report Updates:

- Deadline to submit is May 1, 2026
- \$115 LL88 filing fee is required
 - one payment covers both lighting and submetering submissions; and for combined reports, only one fee is required
- BBL will auto-populate based on inputted BIN.
- "Compliance plan" is no longer an option for these tickets

Ticket #13 – Fee Exempt Verification Updates



Fee-Exempt Verification (Yearly Resubmission)

- BEAM - [13. 2026 Verify Fee Exempt Status](#)

Report Updates

- Allows the user to simply indicate if their status has changed from the previous year.

13. Verify Fee Exempt Status 2026

Edit

The following building owners may use this ticket to demonstrate exemption from DOB filing fees:

1. Buildings owned by a not-for-profit corporation that is used exclusively for educational, charitable and/or religious purposes,
2. Buildings owned by a Federal, State, City or foreign government.

NOTE: the following are NOT exempt:

1. Government Owned Property – Leasing Space to Private Entity
 - Private for-profit organizations leasing space in government owned buildings are not exempt from any Department of Buildings fees.
2. Government Agencies Leasing Space in Privately Owned Buildings
 - Government entities leasing space in privately owned buildings are not exempt from any Department of Buildings fees.

Ticket #14 - BEAM Account Update Users Updates



BEAM Account Update Users

- [14. 2026 BEAM Account Update Users](#)
- All account users from CY24 will be transferred to CY25.
 - If the BBL and BIN had changes. You must email BEAM_LL97@buildings.nyc.gov.
- NOTE: Updating the email fields will overwrite any existing user added to this field in previous tickets.

Report Updates

- None

14. BEAM Account Update Users 2026

Edit

Enter Building Address*

[Enter address as it appears on NYC DOB BIS.](#)

Enter Borough-Block-Lot (BBL)*

[Enter BBL as it appears on LL97 CBL.](#)

BBLs must be 10 numerical digits, including any leading zeros for the block and lot (i.e. 1012234067). There should be no dashes, spaces, or other characters within the digits.

Enter Building Identification Number (BIN)*

[Enter BIN as it appears on LL97 CBL.](#)

BINs must be 7 numerical digits (i.e. 1234567) There should be no dashes, spaces, or other characters within the digits.

Primary Contact Name

NOTE: Updating this field will overwrite any existing user added to this field in previous tickets.

Ticket #15 - Aggregate Emissions and Emissions Limit Attestation Updates

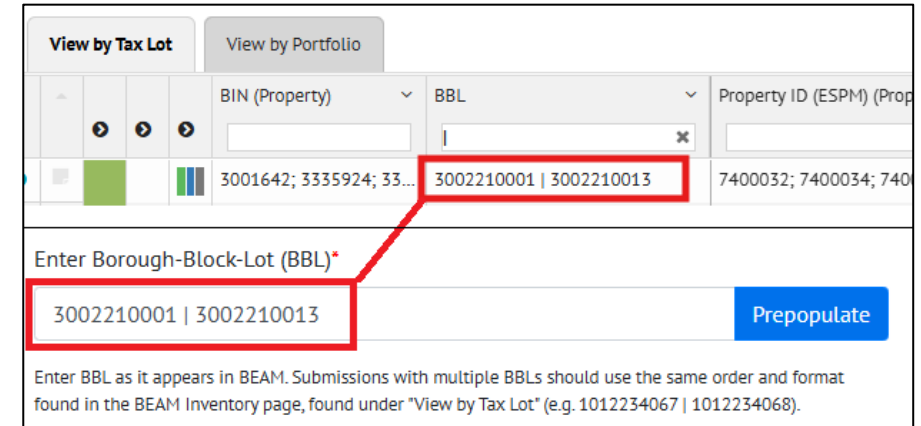


Aggregate Emissions and Emissions Limit Attestation (Yearly Resubmission)

- Check the [2026 Covered Buildings List](#) to verify your data and submit a CBL Dispute, if necessary.
 - See [3/27/2026 DOB Webinar Series: Navigating the 2026 CBL for LL97](#).
- DOB NOW – Compliance Report Filing Fee
- ESPM Connection for Calendar Year 2025 Date
 - If an owner unshared, you must [reshare](#) with the city (NYCGOVLL84).
- BEAM - [15. 2026 Aggregate Emissions and Emissions Limit Attestation](#) submission.

Report Updates:

- BBL pairing is based on entire BBL string on your Campus profile.
- ESPM Parent ID and ESPM Parent Property Name will auto-populate based on inputted BBL.
 - You are attesting to the campus-wide CY25 data tied to the ESPM Parent Property ID entered into this report.
- Compliance status compared to last year is required.
 - Law requires documentation on methods used to come into compliance.



Was the building out of compliance in the previous reporting year but is now in compliance?*

Yes

Select the decarbonization method(s) used to achieve compliance.

Lighting upgrades, please specify below

Heating system upgrades, please specify below*

Cooling system upgrades, please specify below

Application for 320.8 and 320.9 Adjustment

- [16. 2026 LL97 Application Approved for 320.8 \(Special Circumstance\) or 320.9 \(Not-for-profit Hospital\) Adjustment report.](#)
- Report is only required to carry data from DOB NOW to BEAM if a report was not submitted in 2025.
- If you submitted this ticket in 2025, no further action is required.

Report Updates

- No updates

16. LL97 Application Approved for 320.8 (Special Circumstance) or 320.9 (Not-for-profit Hospital) Adjustment 2026



This ticket may be used to add the approved §28-320.8 or §28-320.9 LL97 Adjustment application information from DOB NOW. **This ticket is not meant to replace any information already provided in your 320.8 or 320.9 Adjustment application in DOB NOW.**

Submitter Email*

This e-mail address will receive copies of all public updates to this ticket.

Enter Building Address*

[Enter address as it appears on NYC DOB BIS.](#)

Enter Borough-Block-Lot (BBL)*

Enter BBL as it appears in BEAM. Submissions with multiple BBLs should use the same order and format found in the BEAM Inventory page, found under "View by Tax Lot" (e.g. 1012234067 | 1012234068).

Enter Building Identification Number (BIN)*

[Enter BIN as it appears on LL97 CBL.](#)

Questions and Inquiries?
Contact: BEAM_LL97@buildings.nyc.gov